



## **Dingles Court, Pinner**

**£154,000 Leasehold**

**This recently refurbished one bedroom ground floor flat is set within beautiful communal gardens in the sought after Dingles Court development specifically for people over the age of 55 and offered as part of the affordable home ownership scheme. Therefore, you only pay 70% of the market value of £220,000, with the other 30% share not purchased being a payment discount and locked into the property with no rental amount to pay. The development features non allocated off road parking, security entryphone system with CCTV, pull cord alarm system, communal laundry room and a professional onsite scheme manager during office hours.**

- One bedroom retirement flat for the over 55's • Recently refurbished • Newly fitted kitchen • New carpets • Double glazed windows • Gas central heating • Security entry system • Emergency pull cords to each room • Beautiful communal gardens • Off road parking



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### **Internal**

The security entryphone and entrance door gives access to the carpeted communal hallway with access to the Scheme Manager's office and additional laundry room. The property has its own front door leading to the entrance hallway with two fitted storage cupboards and doors to all rooms including the lounge/dining room with double doors to a small paved patio area and the communal gardens. The kitchen is newly fitted and there is a bedroom with fitted wardrobes and a bathroom. There is an emergency pull cord system to all rooms.

### **External**

The block is set within beautifully maintained communal gardens comprising of a large lawn area with attractive plants, shrubbery and mature trees. There is also ample non allocated off road parking.

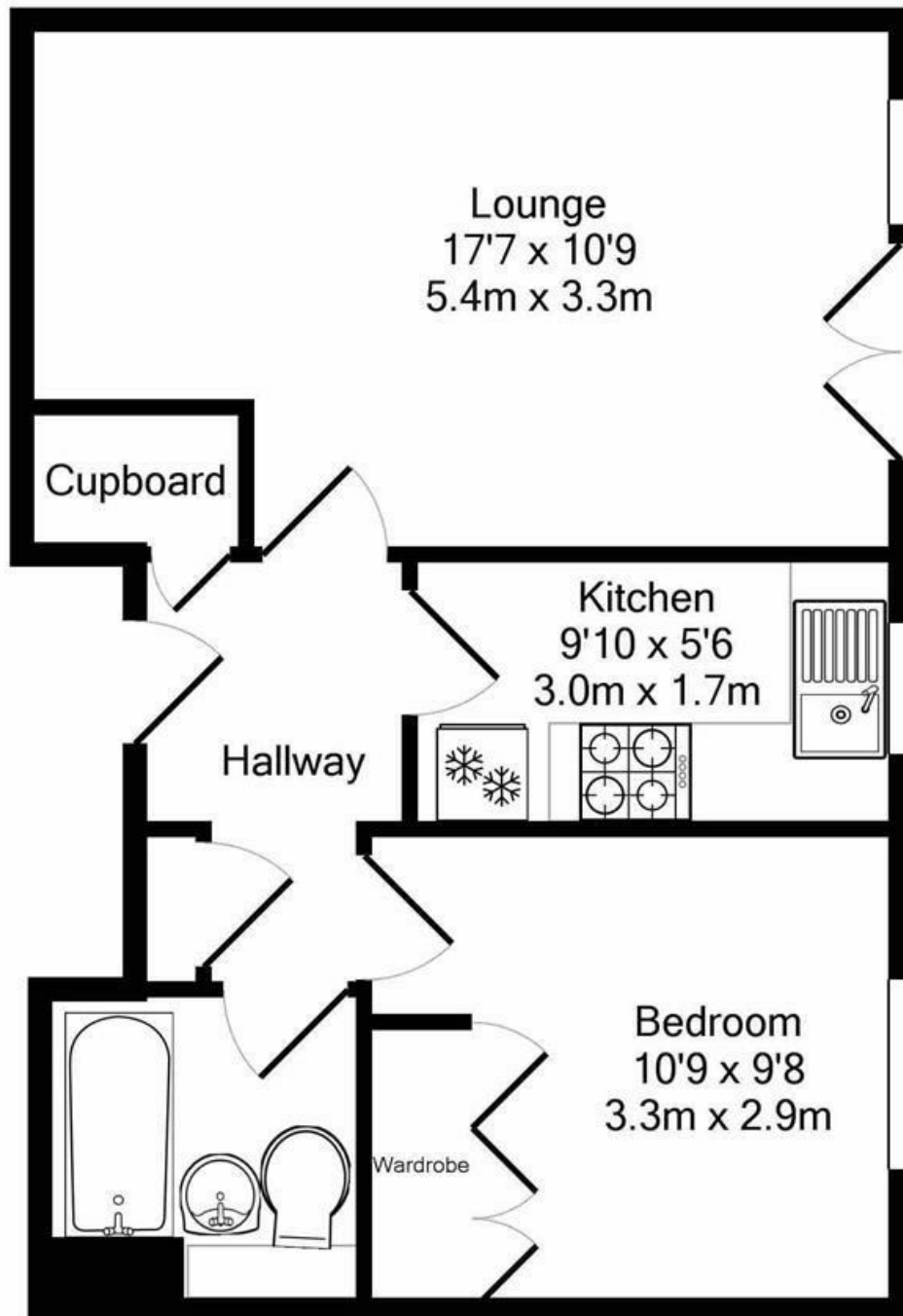
Lease - 99 years from 15/8/01 currently, but the lease is on a surrender and re-grant of 99 years from point of purchase.

Service charge - £573 per quarter

### **Contact Rawlinson Gold**

If you would like to arrange a viewing or discuss any aspect of this property we can be contacted by telephone on 020 8866 2300 or alternatively by email on [pinner@rawlinsongold.co.uk](mailto:pinner@rawlinsongold.co.uk)





Total Approx. Floor Area 430 Sq.Ft. (39.9 Sq.M.)  
Measurements are approximate. Not to scale. Illustrative purposes only  
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